

BENCH MARK  
TOP NUT OF HYDRANT LOCATED AT SOUTHEAST  
CORNER OF PROPERTY ON TOWN CENTER DRIVE  
ELEV.=901.49

**SITE LEGEND:**

- HEAVY DUTY BITUMINOUS PAVEMENT
- LIGHT DUTY BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- B612 CURB AND GUTTER
- B612 OUTFLOW CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PARKING COUNT
- TRAFFIC DIRECTION ARROWS
- LIMITS OF CONSTRUCTION

**KEY NOTES**

1. BITUMINOUS PAVEMENT AS SPECIFIED BELOW:  
(PARKING LOT ONLY)
 

	ASPHALT PAVING SECTION	MnDOT SPECIFICATIONS
	HEAVY DUTY	LIGHT DUTY
BIT. WEAR COURSE	2"	1 1/2"
BIT. BASE COURSE	2"	1 1/2"
AGGREGATE BASE (CL 5)	8"	6"

COMPACTION DENSITY BETWEEN 95% AND 100% OF THE MARSHALL DENSITY. 100% FOR AGGREGATE BASE.  
SOIL ENGINEER RECOMMENDATIONS SUPERSEDE ABOVE LISTED SPECS.
2. B612 (6") CONCRETE CURB & GUTTER.
3. B612 (6") CONCRETE OUTFLOW CURB & GUTTER. (TIP-OUT FLOWLINE)
4. SENSOR LOOP. SEE DETAIL SHEET. CONFIRM WITH ARCHITECTURAL PLANS.
5. CONCRETE SIDEWALK, WIDTH VARIES. SEE DETAIL SHEET
6. PED RAMP PER STANDARD SIDEWALK RAMP DETAIL. SEE DETAIL SHEET FOR MNDOT STANDARD PLATE 7036F.
7. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY-WHITE LATEX PAINT.
8. 6" CONCRETE PAVEMENT W/6"x6"-#10/10 W.W.M. (CONST. JTS @ 12' O.C.) OVER 4" CLASS 5 AGGREGATE BASE. SOILS SPECIFICATIONS SUPERSEDE ABOVE LISTED SPECS.
9. ACCESSIBLE PARKING SIGN (MNDOT #S R7-BA AND R7-BB). CENTER SIGN ON PARKING STALL. LOCATION PER GENERAL CONTRACTOR. MOUNT ON 6" CONCRETE BOLLARD. SEE DETAIL SHEET.
10. GREEN AREA - SEE LANDSCAPE PLAN.
11. TRANSFORMER PAD BY GENERAL CONTRACTOR. INSTALL PER UTILITY COMPANY SPECIFICATIONS.
12. PAINT 4" WIDE SOLID STRIPE - WHITE.
13. PAINT TRAFFIC ARROWS - WHITE.
14. PAINT 24" HIGH LETTERS - WHITE.
15. PAINT 12" WIDE SOLID CROSSWALK STRIPING - WHITE.
16. PAINT 24" WIDE SOLID STRIPE - WHITE.
17. CLEARANCE BAR INSTALLED BY SUPPLIER. FOUNDATION BY GENERAL CONTRACTOR. SEE DETAIL SHEET.
18. MENU BOARD AND SENSOR LOOP PER DETAIL BY SUPPLIER. FOUNDATION BY GENERAL CONTRACTOR. VERIFY SIZE WITH SUPPLIER. SEE DETAIL SHEET.
19. EXISTING POLE SIGN TO REMAIN IN PLACE FOR RE-USE BY TACO BELL. SEE ARCHITECTURAL DRAWINGS FOR POLE BASE MODIFICATIONS.
20. REFER TO LIGHTING AND PHOTOMETRIC PLAN FOR LIGHT LOCATIONS AND SPECIFICATIONS. FOUNDATIONS BY GENERAL CONTRACTOR. VERIFY FOUNDATION SIZE WITH SUPPLIER.
21. GUARD POST BOLLARD. SEE DETAIL SHEET.
22. MATCH EXISTING CONCRETE DRIVEWAY APRON.
23. MATCH EXISTING CONCRETE SIDEWALK.
24. BRICK PAVERS ON SAND. SEE LANDSCAPE PLAN.
25. INSTALL SIGNS, MOUNTED ON 6" CONCRETE BOLLARD. SIGNS TO BE PLACED BACK TO BACK ON SAME BOLLARD. GENERAL CONTRACTOR TO COORDINATE LOCATION.
  - a) 'STOP' SIGN
  - b) 'DO NOT ENTER' SIGN
26. 10"x10" - 6" CONCRETE COLLAR AT MANHOLE CASTINGS. JOINT AS SHOWN.
27. BIKE RACK. SEE PROJECT SPECIFICATIONS.
28. PROTECT EXISTING STOP SIGN IN PLACE.
29. RELOCATE EXISTING NO PARKING SIGN FACING TOWN CENTER DRIVE 20' SOUTHWEST

**PROPERTY OWNER:**

BORDER FOODS, INC.  
CONTACT: BARB SCHNEIDER  
965 DECATUR AVENUE NORTH  
GOLDEN VALLEY, MN 55427  
PH (763) 489-2970  
FX (763) 489-2971

**ARCHITECT:**

WCL ASSOCIATES, INC.  
CONTACT: DEAN MADSON  
4931 W. 35TH ST, STE 200  
ST. LOUIS PARK, MN 55416  
PH (952) 541-9969  
FX (952) 541-9554

**CIVIL ENGINEER:**

QUALITY SITE DESIGN, LLC  
CONTACT: SCOTT DAHLKE  
3600 HOLLY LANE N., STE 100  
PLYMOUTH, MN 55447  
PH (763) 550-9056  
FX (763) 746-2993

**PARKING DATA:**

<b>PROVIDED PARKING STALLS:</b>	
10x19	36 STALLS
Accessible (ADA)	2 STALLS
PROVIDED TOTAL :	38 STALLS
<b>REQUIRED PARKING STALLS:</b>	
RESTAURANT WITH DRIVE-THROUGH FACILITY:	
1 space 60 sq. ft. Gross Floor Area excluding trash room.	
(2,200 / 60)	
REQUIRED PARKING:	37 STALLS

**SETBACK:**

LOCATION:	BUILDING	PARKING
PUBLIC R/W	30'	20'
PUBLIC R/W INTERSTATE	50'	20'
SIDE	10'	5'
REAR	20'	5'

**INDEX OF CIVIL SITE DRAWINGS:**

- C1.0 SITE PLAN
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 DEMOLITION PLAN
- C4.0 GRADING, DRAINAGE AND EROSION CONTROL PLAN
- C5.0 UTILITIES PLAN
- C6.0 DETAILS
- C7.0 DETAILS

**SITE DATA:**

ZONING:	CSC - COMMUNITY SHOPPING CENTER DISTRICT
PROPOSED USE:	RESTAURANT WITH DRIVE-THROUGH
GROSS LOT AREA:	35,412 SQ. FT. OR 0.81 ACRES
TOTAL BUILDING FOOTPRINT AREA: (GFA) (Includes trash enclosure)	2,374 SQ. FT.
PERCENT BUILDING COVERAGE: (% of gross lot area)	6.7%
FLOOR AREA RATIO (2,374 / 35,412)	0.067
BUILDING HEIGHT:	24'-9" (ALLOWED MAX. 35' HT.)
PROPOSED IMPERVIOUS AREA: (building, sidewalk, & pavement)	24,745 SQ. FT.
PERCENT IMPERVIOUS AREA: (% of gross lot area)	69.9%
PROPOSED LANDSCAPE AREA:	10,667 SQ. FT.
PERCENT LANDSCAPE AREA: (% of gross lot area)	30.1% (REQUIRED 30.0%)

SITE PLAN BASED ON SURVEY INFORMATION DATED FEBRUARY 23, 2011  
PROVIDED BY LOT SURVEYS COMPANY, INC.

**GENERAL NOTES:**

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY THE PERMITTING AUTHORITIES.
2. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATION SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE TACO BELL CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS.
3. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND PIPING, VALVING, ETC.
4. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, LICENSED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AND PAVEMENT AREAS HAVE BEEN COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
5. THE LOCATIONS OF THE UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
6. ALL EXISTING DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY TACO BELL CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

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**Taco Bell**  
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Eagan, MN 55123

Developed by:  
**Border Foods**  
965 Decatur Ave North  
Golden Valley MN 55427  
Contact: Barb Schneider  
Phone: 763-489-2970

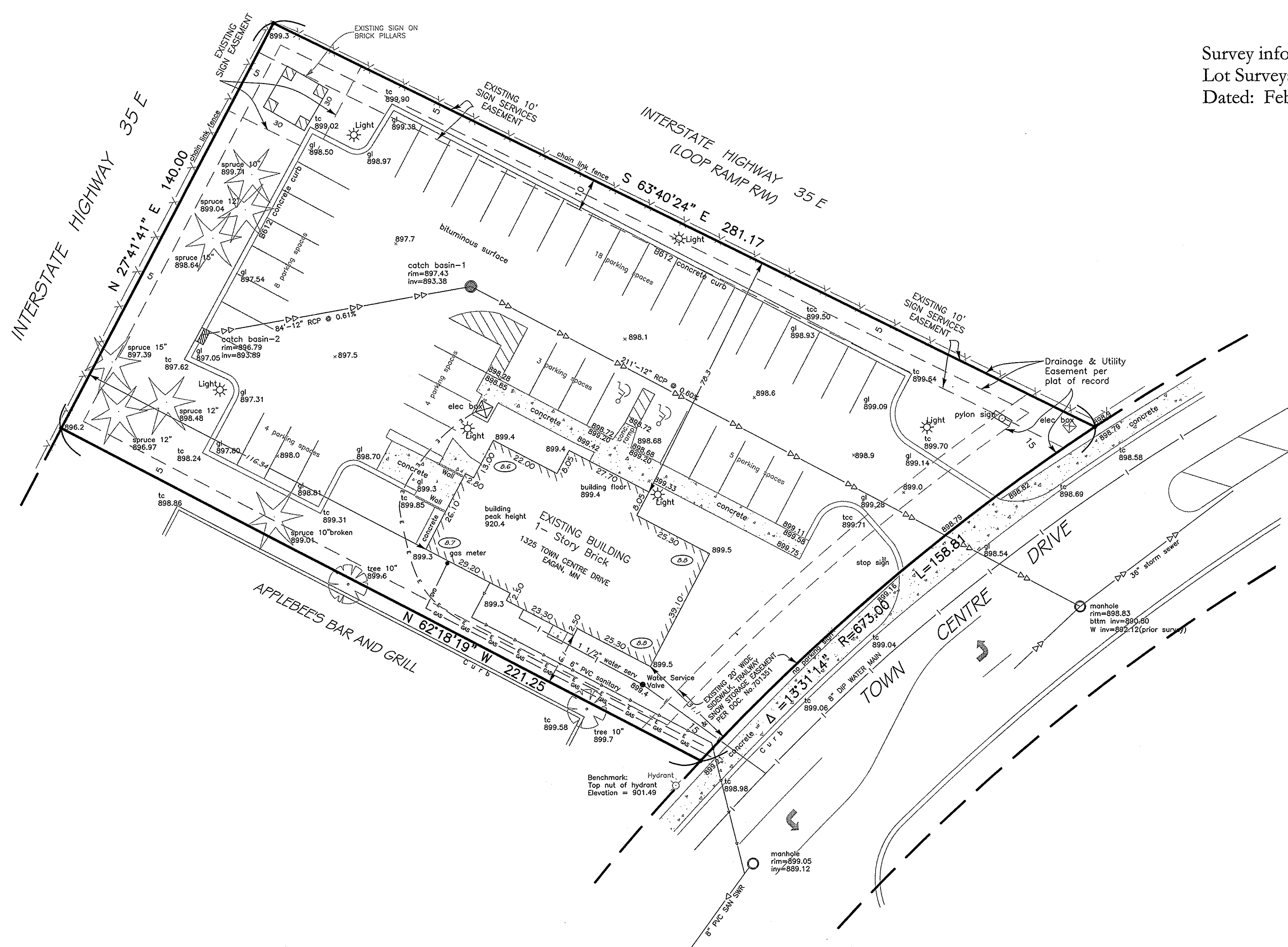
**QUALITY SITE DESIGN, LLC**  
Civil Engineering - Land Development  
3600 Holly Lane N., Suite 100  
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Phone (763) 550-9056  
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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota  
Signature: Scott Dahlke  
Name: Scott Dahlke  
Registration: 24348  
Date: 6/10/11

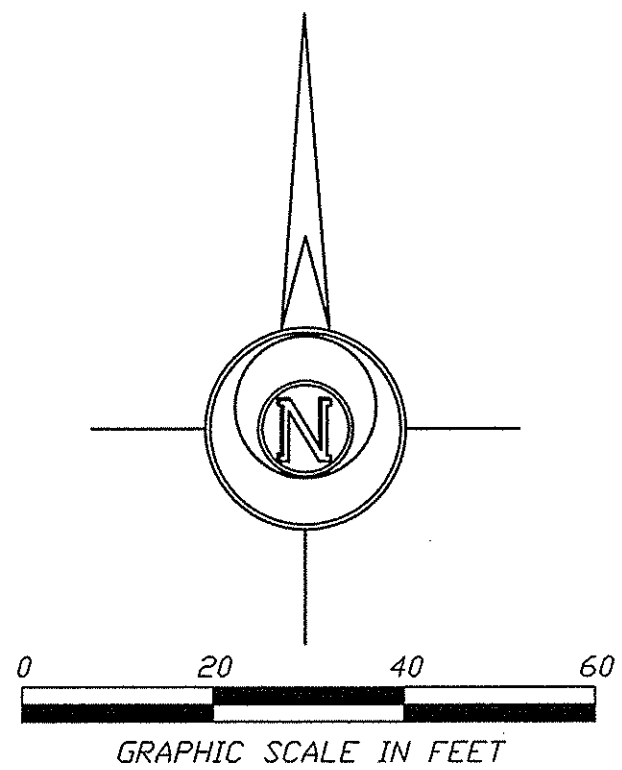
Print History	Date
CUP Submittal	03.16.2011
Revisions per City comments	03.30.2011
Revise water service per City	04.08.2011
Revise sidewalk per City	05.17.2011
Revise sign pole base per City	05.17.2011
City Project Number	06.10.2011

**New Building TB07 52 Seats**  
SITE PLAN

Project 2011.06.01  
Drawn BB  
Checked SD  
**C1.0**



Survey information provided by:  
 Lot Surveys Company, Inc.  
 Dated: February 23, 2011



BENCH MARK:  
 TOP NUT OF HYDRANT LOCATED AT SOUTHEAST  
 CORNER OF PROPERTY ON TOWN CENTER DRIVE  
 ELEV.=901.49

**LEGAL DESCRIPTION:**

Lot 1, Block 1, TOWN CENTRE 70 NINTH ADDITION  
 Dakota County, Minnesota

**SURVEY LEGEND:**

- Catch basins
- Hydrant
- Light standard
- Gas main
- Sanitary sewer
- Storm sewer
- Watermain
- Overhead wires
- Underground electric
- Height of building to adjacent ground

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- C3.0 DEMOLITION PLAN
- C4.0 GRADING, DRAINAGE AND EROSION CONTROL PLAN
- C5.0 UTILITIES PLAN
- C6.0 DETAILS
- C7.0 DETAILS

CITY PROJECT No. 11-BP-C

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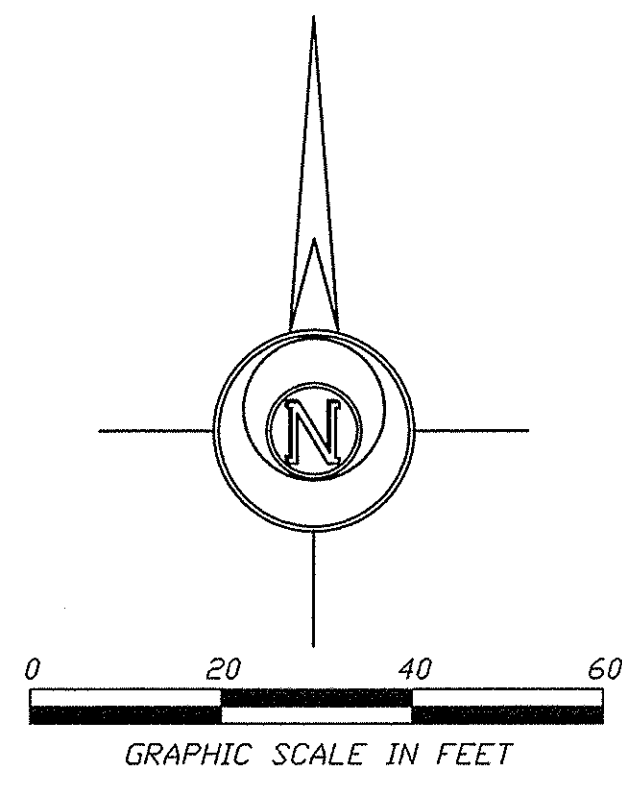
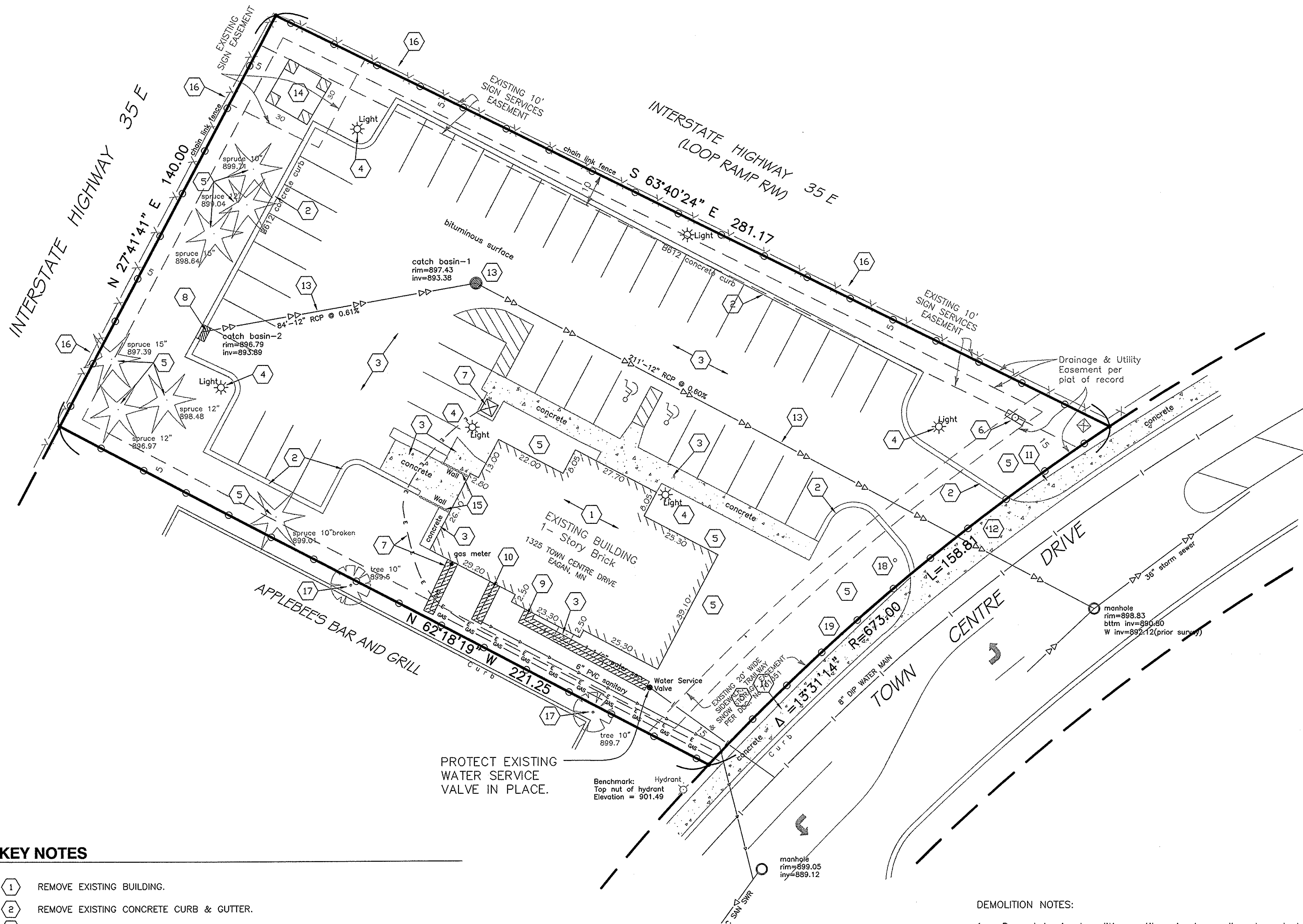
I hereby certify that this plan was prepared by me or  
 under my direct supervision and that I am a duly  
 licensed engineer under the laws of the State of  
 Minnesota

Signature: Scott Dahlke  
 Name: Scott Dahlke  
 Registration: 24348  
 Date: 6/10/11

Print History	Date
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**New Building**  
 TB07 52 Seats  
 EXISTING CONDITIONS  
 PLAN

Project 2011.06.01  
 Drawn BB  
 Checked SD  
**C2.0**  
 QSD Project # 00373



BENCH MARK:  
TOP NUT OF HYDRANT LOCATED AT SOUTHEAST  
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**LEGEND:**

- Catch basins
- Hydrant
- Light standard
- Gas main
- Sanitary sewer
- Storm sewer
- Watermain
- Overhead wires
- Underground electric
- Height of building to adjacent ground

**KEY NOTES**

- 1 REMOVE EXISTING BUILDING.
- 2 REMOVE EXISTING CONCRETE CURB & GUTTER.
- 3 REMOVE EXISTING BITUMINOUS AND CONCRETE PAVEMENT.
- 4 REMOVE EXISTING LIGHTPOLE.
- 5 REMOVE EXISTING TREES AND LANDSCAPE FEATURES.
- 6 PROTECT EXISTING POLE SIGN IN PLACE. REMOVE EXISTING BASE. SEE ARCHITECTURAL DRAWINGS FOR POLE BASE MODIFICATIONS.
- 7 COORDINATE WITH UTILITY SERVICE PROVIDER FOR DISCONNECTION, TEMPORARY CAP AND/OR REMOVAL AS NECESSARY.
- 8 REMOVE STORM SEWER STRUCTURE AND PIPE. PROVIDE FOR EXTENSION PER UTILITY PLAN C5.0.
- 9 DISCONNECT AND REMOVE EXISTING WATER SERVICE AND PROVIDE TEMPORARY CAP. PROVIDE FOR EXTENSION PER UTILITY PLAN C5.0.
- 10 DISCONNECT AND REMOVE EXISTING SANITARY SEWER SERVICE AND PROVIDE TEMPORARY CAP. PROVIDE FOR EXTENSION PER UTILITY PLAN C5.0.
- 11 PROTECT EXISTING SIDEWALK IN PLACE. CONTRACTOR RESPONSIBLE FOR DAMAGED SIDEWALK REPLACEMENT AT NO COST TO OWNER.
- 12 PROTECT EXISTING CONCRETE DRIVEWAY APRON IN PLACE. CONTRACTOR RESPONSIBLE FOR DAMAGED APRON REPLACEMENT AT NO COST TO OWNER.
- 13 PROTECT EXISTING STORM SEWER IN PLACE. INSTALL INLET EROSION CONTROL PROTECTION PER DETAIL.
- 14 PROTECT EXISTING MONUMENT SIGN IN PLACE.
- 15 REMOVE EXISTING WALL.
- 16 PROTECT EXISTING FENCE ON ADJACENT PROPERTY.
- 17 PROTECT EXISTING TREE ON ADJACENT PROPERTY.
- 18 PROTECT EXISTING STOP SIGN IN PLACE.
- 19 RELOCATE EXISTING NO PARKING SIGN AS NOTED ON SHEET C1.0

**DEMOLITION NOTES:**

1. Do not begin demolition until perimeter sediment controls are in place.
2. Provide air quality control measures at the request of the Engineer or City Representatives. Take necessary measures to keep dust levels to a minimum. Provide sweeping of adjacent paving as needed.
3. Use approved inlet protection at all active storm sewer inlets. Refer to details.
4. Locate and protect all utility lines prior to and during demolition. Utility locations shown are based on best available information and are not guaranteed. Contact private utility service for disconnection and removal.
5. Obtain all necessary permits for demolition of existing buildings.
6. Remove or relocate all existing structures and objects that interfere with the proposed construction.
7. Verify location of water and sanitary service. Cap lines at proposed connections per utility plan and remove pipes to the existing building.
8. Remove demolition debris within 24 hours. Brokerage of salvaged material is not permitted on site.
9. Protect existing site features during construction. Replace anything damaged with new construction.
10. Pavement shall be saw cut at limits of removal unless noted otherwise. Removal may occur at nearest construction joint beyond limit at no cost to the owner.
11. Do not impede existing traffic circulation to adjacent businesses or streets.
12. Sufficient topsoil shall be stockpiled to allow for the replacement of 4" of topsoil for disturbed areas to be re-vegetated.
13. All construction and post-construction parking shall be on-site. At no time shall parking, loading, or unloading be allowed on public streets.
14. Contractor shall not obstruct public sidewalks at any time.
15. Storage of materials or equipment shall not be allowed within public Right-of-Way.

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**CITY PROJECT No. 11-BP-C**



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Signature:   
Name: Scott Dahlke  
Registration: 24348  
Date: 6/10/11

Print History	Date
CUP Submittal	03.16.2011
Revisions per City comments	03.30.2011
Revise water service per City	04.08.2011
Revise sidewalk per City	05.17.2011
Revise sign pole base per City	05.17.2011
City Project Number	06.10.2011

**New Building**  
TB07 52 Seats  
**DEMOLITION PLAN**

Project 2011.06.01  
Drawn BB  
Checked SD  
**C3.0**  
QSD Project # 00373



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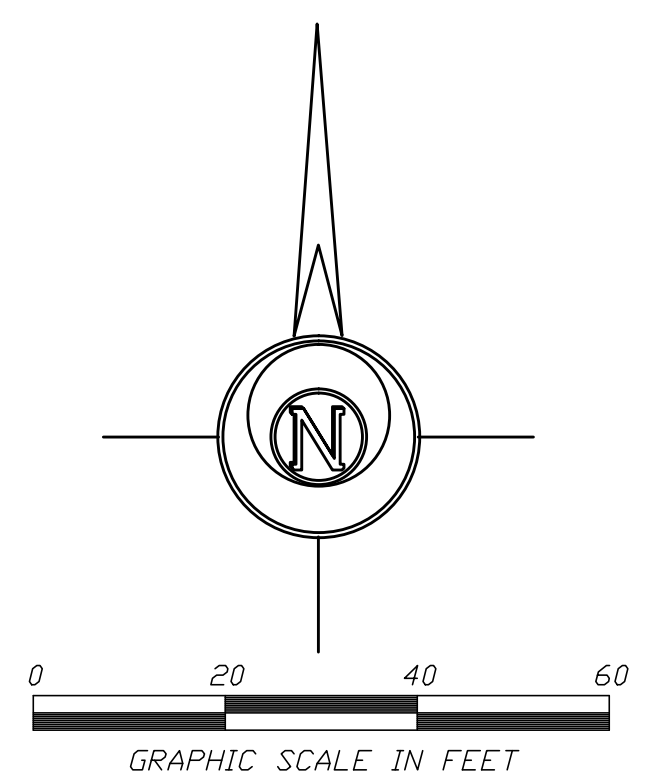
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Signature: Scott Dahlke  
Name: Scott Dahlke  
Registration: 24348  
Date: 07/13/2011

Print History	Date
CUP Submittal	03.16.2011
Revisions per City comments	03.30.2011
Revise water service per City	04.08.2011
Revise sidewalk per City	05.17.2011
Revise sign pole base per City	05.17.2011
City Project Number	06.10.2011
Sanitary Sewer Cleanout	06.10.2011
Sanitary Sewer Cleanout	07.13.2011

**New Building TB07 52 Seats**  
**GRADING, DRAINAGE, AND EROSION CONTROL PLAN**

Project 2011.06.01  
Drawn BB  
Checked SD  
**C4.0**



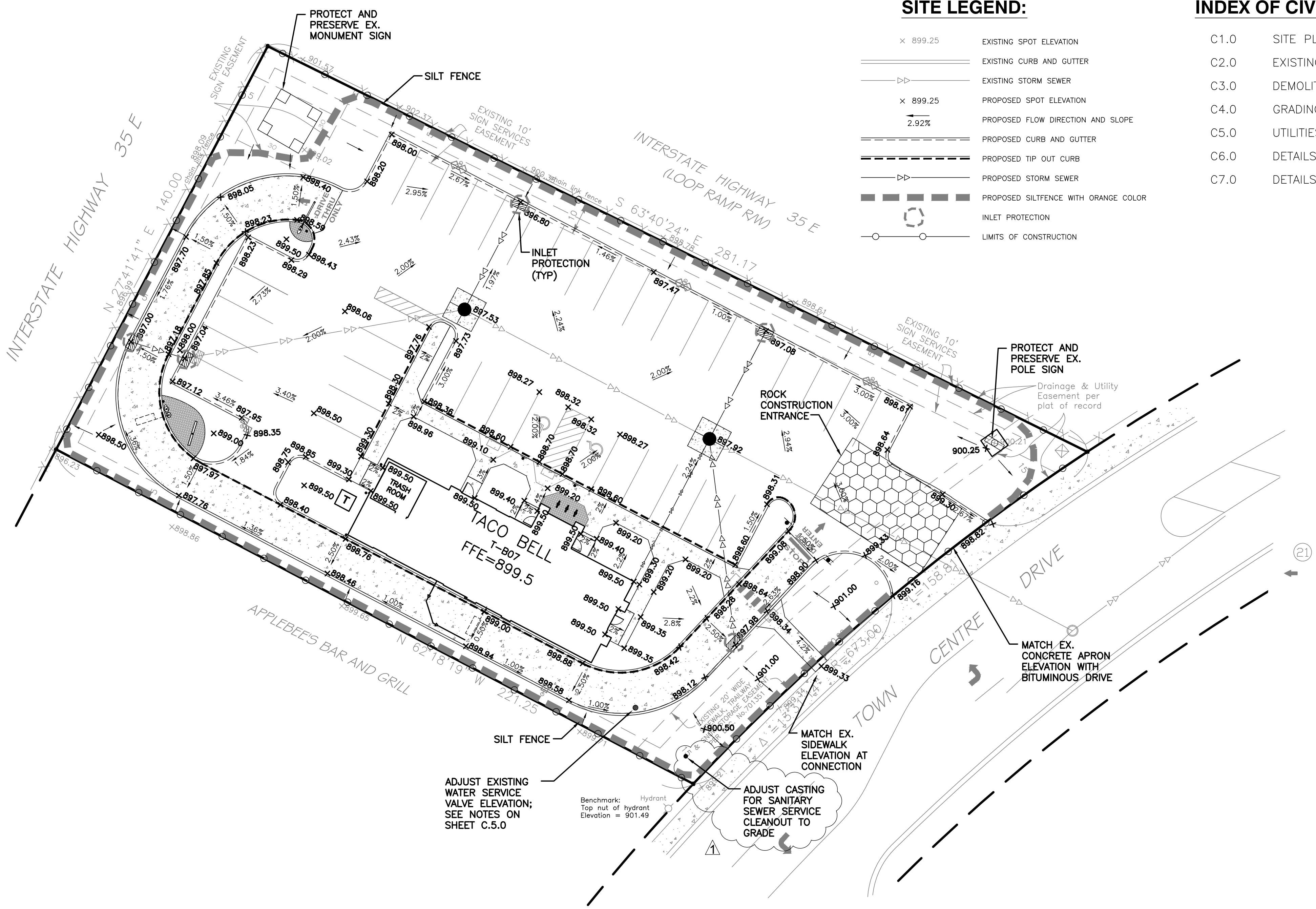
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**SITE LEGEND:**

- × 899.25 EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- EXISTING STORM SEWER
- × 899.25 PROPOSED SPOT ELEVATION
- 2.92% PROPOSED FLOW DIRECTION AND SLOPE
- PROPOSED CURB AND GUTTER
- PROPOSED TIP OUT CURB
- PROPOSED STORM SEWER
- PROPOSED SILTFENCE WITH ORANGE COLOR
- INLET PROTECTION
- LIMITS OF CONSTRUCTION



**GENERAL GRADING NOTES:**

1. Specifications applicable for this project: Current standard specifications for Eagan, MN, and the latest Minnesota Department of Transportation Specifications for Highway Construction and all NPDES requirements except where modified by these contract documents.
2. OSHA requirements shall be followed for all work on this project.
3. The Contractor shall notify "Gopher State One Call" 48 hours prior to any excavation (1-800-252-1166.)
4. The Grading Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction, and immediately notify the Engineer of any conflicts.
5. Erosion Control shall be constructed, as applicable, as sequenced below:
  - A. Silt Fence.
  - B. Rock Construction Entrance.
  - C. Demolition
  - D. Common excavation (grading).
  - E. Seed and mulch or sod (See notes on Landscape plan).
6. Final Plat shall govern for easements and lot dimensions.
7. Any erosion control items necessary to protect adjacent properties shall be constructed by the Grading Contractor.
8. Erosion control maintenance shall be performed by the Grading Contractor, and removed as per the Contract Documents or as directed by the Engineer, followed by all necessary restoration of disturbed area. This work shall be incidental to the grading contract.
9. The Grading Contractor shall schedule the soils engineer to facilitate certification of all controlled fills in a timely fashion. Density tests shall meet the following:
  - A. Within the upper 3' of streets, the Grading Contractor shall utilize approved soils that are within 1% of the optimum moisture content as defined by the Standard Proctor Test—ASTM: D-698 with compaction meeting 100% Standard Proctor Density and not exceeding this compaction by more than 1%. Below the upper 3', compaction shall meet 95% Standard Proctor Density, and be within 3% of the optimum moisture content. Grading tolerances shall be 0.1'.
  - B. Grading tolerances for the remainder of the site shall be 0.25'.
10. All areas of unsuitable soils found in the pad described above that cannot be corrected shall be located in the field by the Grading Contractor. The Grading Contractor shall immediately notify the Engineer of these areas and provide information as to their size and location.
11. The Grading contractor shall provide positive drainage on the site at all times.
12. The Grading Contractor shall keep public streets and travel ways clear of soil and debris. Daily cleaning at the construction entrance shall be performed, especially at the end of each day's work.
13. All silt fence shall be removed at project completion.
14. All proposed elevations are at flow line unless otherwise noted.
15. All erosion control best manage practices shall be per City standards.

**EROSION CONTROL MAINTENANCE SCHEDULE**

1. Erosion control measures shall be inspected by the contractor's representative and maintained by the contractor every Friday and within 24 hours after any rainfall event larger than 1/2" until the project is completed. Maintenance requirements are as follows: silt fence - 1/3 height of fence or damaged, remove sediment and/or repair fence within 24 hours; rock entrance - refresh as necessary to conform to detail; inlet protection inserts - remove sediment after each rain event, clean or replace filter when clogged; surface water - drain and stabilize, within 7 days of discovery; and street sweeping - remove all sediment tracked onto paved surfaces within 24 hours or as directed by City Engineer.
2. Replacement - Fabric shall be replaced promptly when it decomposes or becomes ineffective before the barrier is no longer necessary.
3. Any sediment remaining in place after silt fence is no longer required shall be dressed to conform with the existing grade, prepared, and seeded with appropriate seed mix, as directed by the engineer.
4. Removal of the silt fence- Silt fences shall be removed when they have served their useful purpose, but not before the upward sloping area has been permanently stabilized. If the upward sloping area is to be exposed longer than six (6) months, that area shall be covered with temporary vegetation when first exposed.

**EROSION CONTROL NOTES**

1. All devices necessary to control erosion and sediment (i.e. perimeter silt fence, rock construction entrances, swales, ponds, berms, ETC.) shall be installed prior to any other construction operations.
2. After completion of rough grading, exposed soils must be stabilized with temporary seed and mulch within 14 days.
3. After completion of final grading, exposed soils must be permanently stabilized within 14 days. Stabilization shall consist of disc-anchored seed & mulch or sod.
4. The site must be kept in a well drained condition at all times. The contractor shall be responsible for temporary ditches, or other means necessary to ensure proper drainage. The building pad must be provided with a positive outflow. This work shall be incidental to the grading contract.
5. Entering/exiting of the site shall occur only at rock construction entrance to reduce tracking of dirt onto paved streets. Sediment tracked onto streets during working hours must be reclaimed via street scraping and sweeping at the end of each working day.

**EROSION CONTROL INSTALLATION SCHEDULE**

1. Silt fence shall be installed or restored prior to any construction. Silt fence shall be located as shown to intercept runoff. The area located beyond the perimeter silt fence shall not be disturbed during construction.
2. Rock Construction Entrance shall be installed prior to grading operations.
3. All storm sewer inlets shall have inlet protection inserts installed. Inserts shall be "Road rain-Top Slab" or "Road Drain-Curb & Gutter" inlet protection devices as manufactured by WIMCO (or approved equal) and installed per manufacturer's recommendations.
4. All erosion control installations shall remain in place and be maintained in good condition by the contractor until the site has been re-vegetated, at which time it shall be removed by the contractor. For proposed paved surface areas, the contractor may remove necessary silt fencing to construct roadway, while maintaining adequate erosion control in adjacent areas.
5. Sufficient topsoil shall be stockpiled to allow for the replacement of 4" topsoil for disturbed areas to be re-vegetated.
6. The contractor shall schedule site grading, utility installation and roadway construction so that the general site can be mulched and re-seeded soon after disturbance. Areas that will not be subject to construction traffic shall be seed and mulched or sodded within 14 days of being disturbed.

**SEED AND MULCH SCHEDULE**

1. All disturbed areas shall be covered with a minimum 4" topsoil. Unless areas are to be sodded, MnDOT seed mix 250 shall be applied at 75 lbs/ac. MnDOT Type 1 mulch shall be applied at 2 tons/ac and disc anchored. Seeding and mulching shall conform to the latest NPDES requirements for installation schedule with regards to grading.
2. Fertilizer shall be 8-12-6 and applied at 300 lbs/acre. Disc fertilizer into top 3" of soil.
3. Dormant seed mix shall be used after November 1 or when temperatures do not exceed 40° F, using same rates specified above. No seed shall be placed on snow or ice greater than 2" in depth.
4. Any seeded areas that do not become established with vegetation shall be reseeded at Contractor's expense.
5. Refer to erosion control schedule for seed and mulch schedule with regards to grading.
6. Refer to Landscape Plan for seeding and sodding locations and details.

**SWPP NARRATIVE**

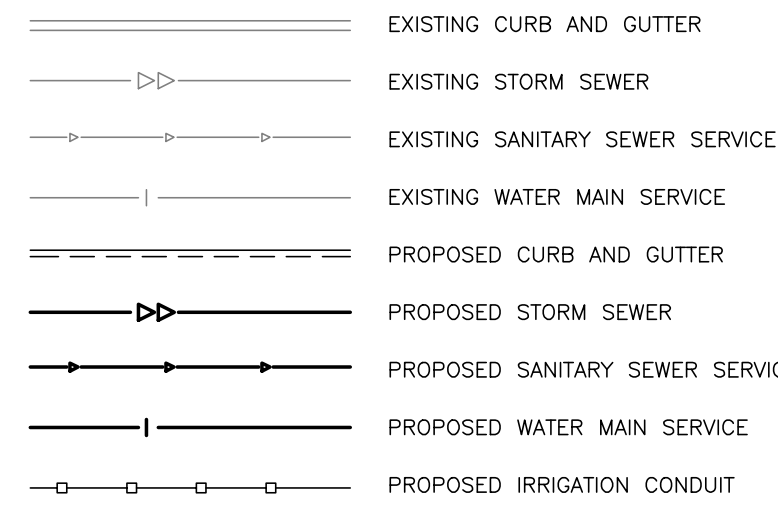
This project will consist of grading and reconstruction of the building pad and parking lot for a Taco Bell Restaurant. First, perimeter silt fence and rock construction entrance shall be installed. Then demolition of existing building and parking lot shall commence. The contractor shall dispose demolition debris off-site within 24 hours. Then the site can be graded and utilities installed. Once final grade is established and certified, the site shall be stabilized with seed and mulch or sod. Once vegetation is established, temporary erosion control measures shall be removed.

**POLLUTION PREVENTION NOTES**

Solid waste: collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction debris and other wastes must be disposed of properly off-site and must comply with MPCA requirements. Hazardous materials: oils, gasoline, paint, and any hazardous substance must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal must be in compliance with MPCA regulations.

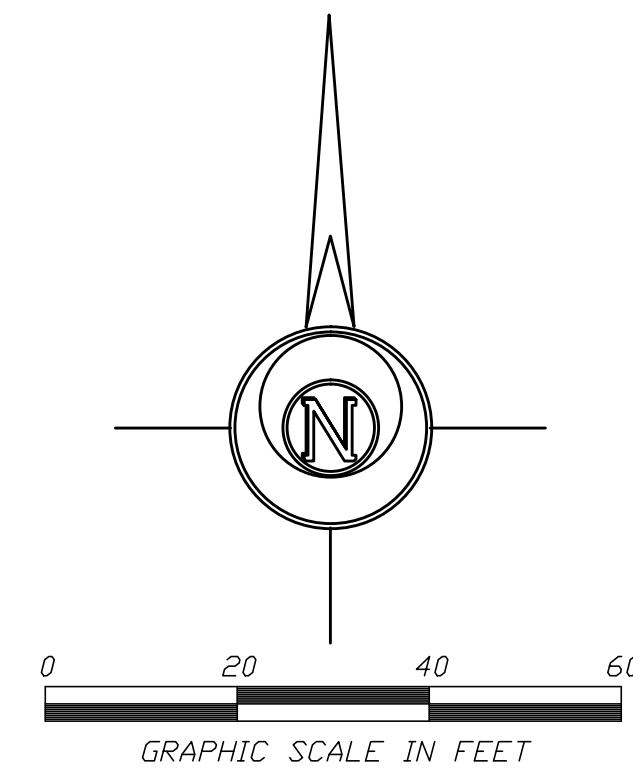
External washing of trucks or other construction vehicles is not allowed on site. No engine degreasing is allowed on site. No concrete washouts are allowed on site.

**SITE LEGEND:**

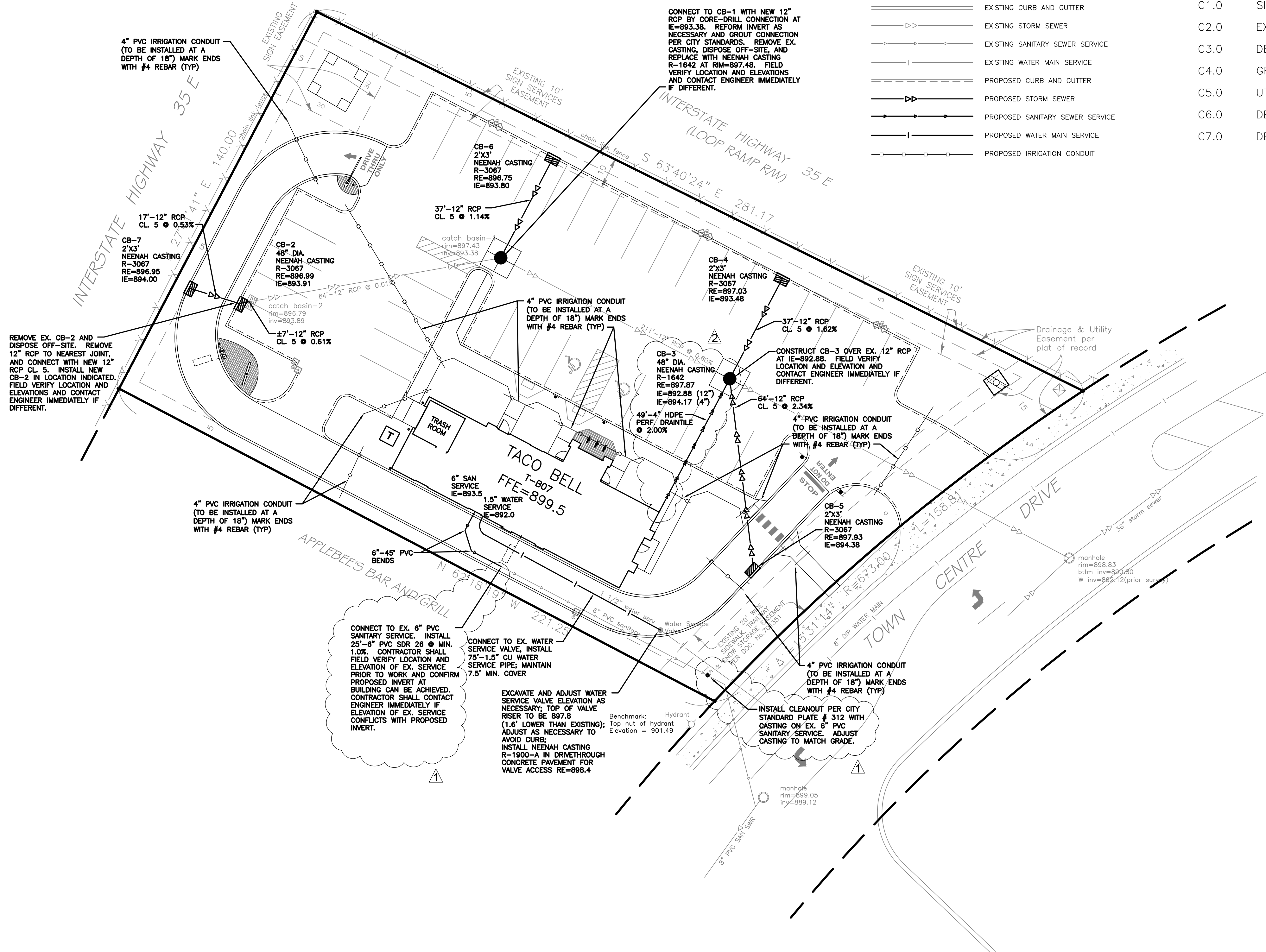


**INDEX OF CIVIL SITE DRAWINGS:**

- C1.0 SITE PLAN
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 DEMOLITION PLAN
- C4.0 GRADING, DRAINAGE AND EROSION CONTROL PLAN
- C5.0 UTILITIES PLAN
- C6.0 DETAILS
- C7.0 DETAILS



BENCH MARK  
TOP NUT OF HYDRANT LOCATED AT SOUTHEAST  
CORNER OF PROPERTY ON TOWN CENTER DRIVE  
ELEV.=901.49



**GENERAL UTILITY NOTES:**

1. Specifications applicable for this project: Current standard specifications for the City of Eagan, MN and all Minnesota Department of Health and MPCA requirements except where modified by these contract documents.
2. OSHA requirements shall be followed for all work on this project.
3. The Contractor shall notify "Gopher State One Call" 48 hours prior to any excavation (651-454-0002 or 1-800-252-1166 out state.)
4. The Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction (storm sewer, sanitary sewer, water, natural gas, telephone, electric, etc.), and immediately notify the Engineer of any conflicts.
5. The Contractor shall protect all existing utilities and facilities to allow proper functioning during and after construction. Any required supporting structures shall be supplied by the Contractor as work incidental to the contract.
6. The contractor shall immediately notify the Engineer of any conflicts between existing utilities, and the proposed construction. The Engineer will coordinate with the Utility Company in question to determine the need for relocation of the existing utility.
7. Existing conditions such as sand in manholes or valve boxes shall be identified by the Contractor and these shall be reported to the Engineer prior to excavation by the Contractor. Once construction has begun, all damage to underground utilities will be assumed to have been caused by the Contractor, any repairs necessary shall be performed by the Contractor at the Contractor's expense.
8. Final Plat shall govern for easements.
9. The Contractor shall coordinate with the local jurisdiction to obtain permits and meter for water source. All associated costs shall be incidental to the Contract, including disposal of test water into City's sanitary sewer system. The Contractor shall not operate gate valves or hydrants on the City's water supply system.
10. The Contractor shall notify the City Engineer and the Project Engineer 48 hours prior to starting work or as required by the local jurisdiction or be subject to being shut down.
11. The Contractor shall keep access roads clear of soil or other debris, and perform daily street cleaning as required by the NPDES permit. Positive drainage, controlled with erosion control and erosion prevention measures as required by the NPDES permit shall be performed. Inlet protection shall be installed within 48 hours after inlet construction. Unless specified on the plans or as a bid item on the Bid Form, any temporary culverts, ditches, filter fabric, etc. necessary to accomplish this shall be performed as incidental to the Contract.
12. The Contractor shall preserve and protect the markers and monuments set for the subdivision of the land.
13. The Contractor shall schedule the soils engineer to facilitate certification of all controlled fills in a timely fashion. Density tests shall meet the following:
  - A. Density tests shall be taken on all trenches at locations as determined by the Engineer or his representative.
  - B. Within the upper 3' of streets, private drives and parking lots, Contractor shall utilize approved soils that are within 1% optimum moisture content as defined by the Standard Proctor Test-ASTM: D-698 with 100% Standard Proctor Density and not exceeding compaction by more than 1%. Below the upper 3', compaction shall meet 95%. Grading tolerances shall be 0.1'.
14. The Owner shall pay for all testing of soils compaction. Any areas which fail to meet the above standards shall be corrected and re-tested by the Owner's testing agent at the Contractor's expense.
15. All water main shall be installed with a minimum of 7.5 feet of cover.
16. Contractor shall provide temporary traffic control in compliance with MN/DOT "Temporary Traffic Control Zone Layouts Field Manual" dated 2011 for construction in Town Centre Drive.
17. Contractor shall be responsible for verification of the depth of existing stubs listed on this plan prior to the ordering of any fittings, structures, castings, etc. Engineer and the Owner shall not be responsible for any discrepancies found as depths are estimated.

**NOTES:**

1. CONFIRM PROPOSED SANITARY SERVICE AND WATER MAIN SERVICE LOCATIONS WITH MECHANICAL PLANS.
2. REFER TO ELECTRICAL AND LIGHTING PLANS FOR CONDUIT SIZE AND LOCATION FOR MENU BOARD, PORTAL, AND LIGHTS POLES.



**Taco Bell**  
1325 Town Centre Drive  
Eagan, MN 55123

Developed by:  
**Border Foods**  
965 Decatur Ave North  
Golden Valley MN 55427

Contact: Barb Schneider  
Phone: 763-489-2970

**QUALITY SITE DESIGN, LLC**  
Civil Engineering - Land Development  
3800 Holly Lane N., Suite 100  
Plymouth, Mn 55447  
Phone (763) 550-9056  
Fax (763) 550-3919

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota

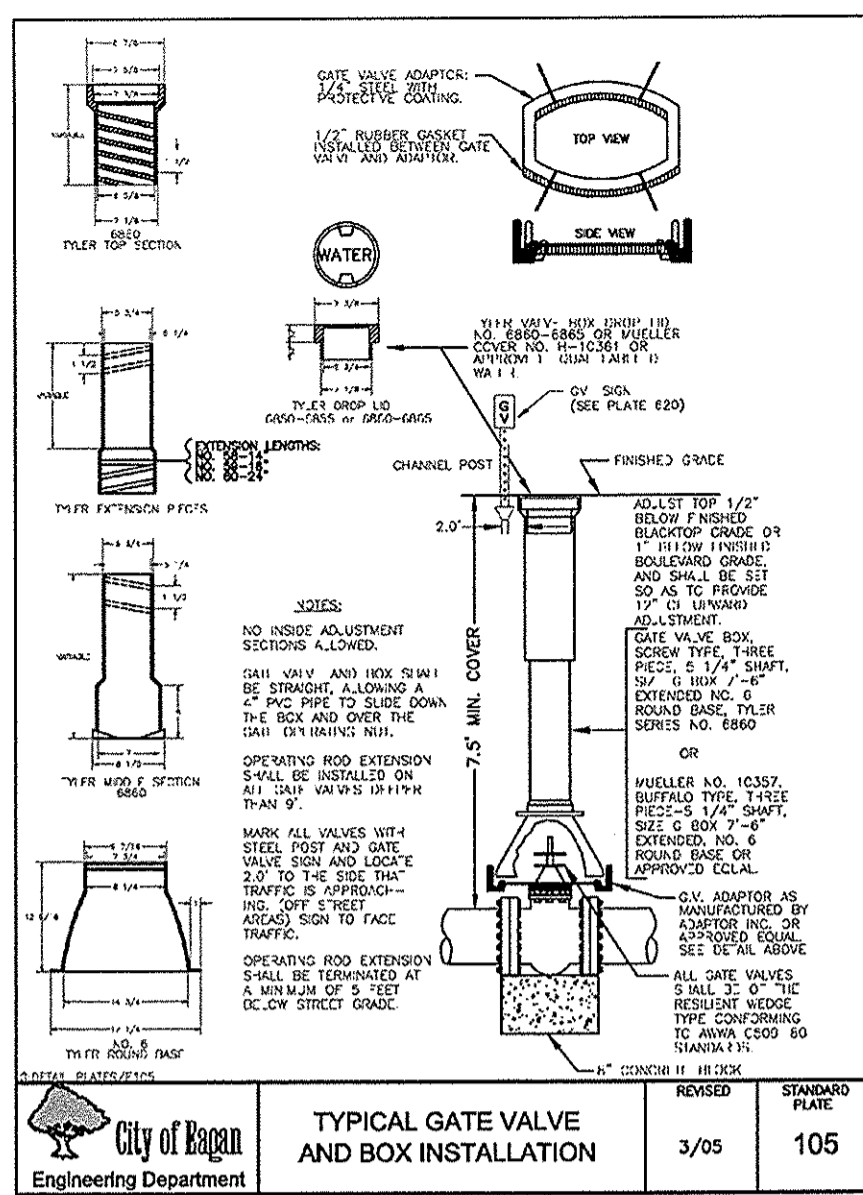
Signature: Scott Dahlke  
Name: Scott Dahlke  
Registration: 24348  
Date: 07/13/2011

Print History	Date
CUP Submittal	03.16.2011
Revisions per City comments	03.30.2011
Revise water service per City	04.08.2011
Revise sidewalk per City	05.17.2011
City Project Number	06.10.2011
Sanitary Sewer Cleanout	06.10.2011
Sanitary Sewer Cleanout	07.13.2011
Foundation DrainTile Outlet	07.13.2011

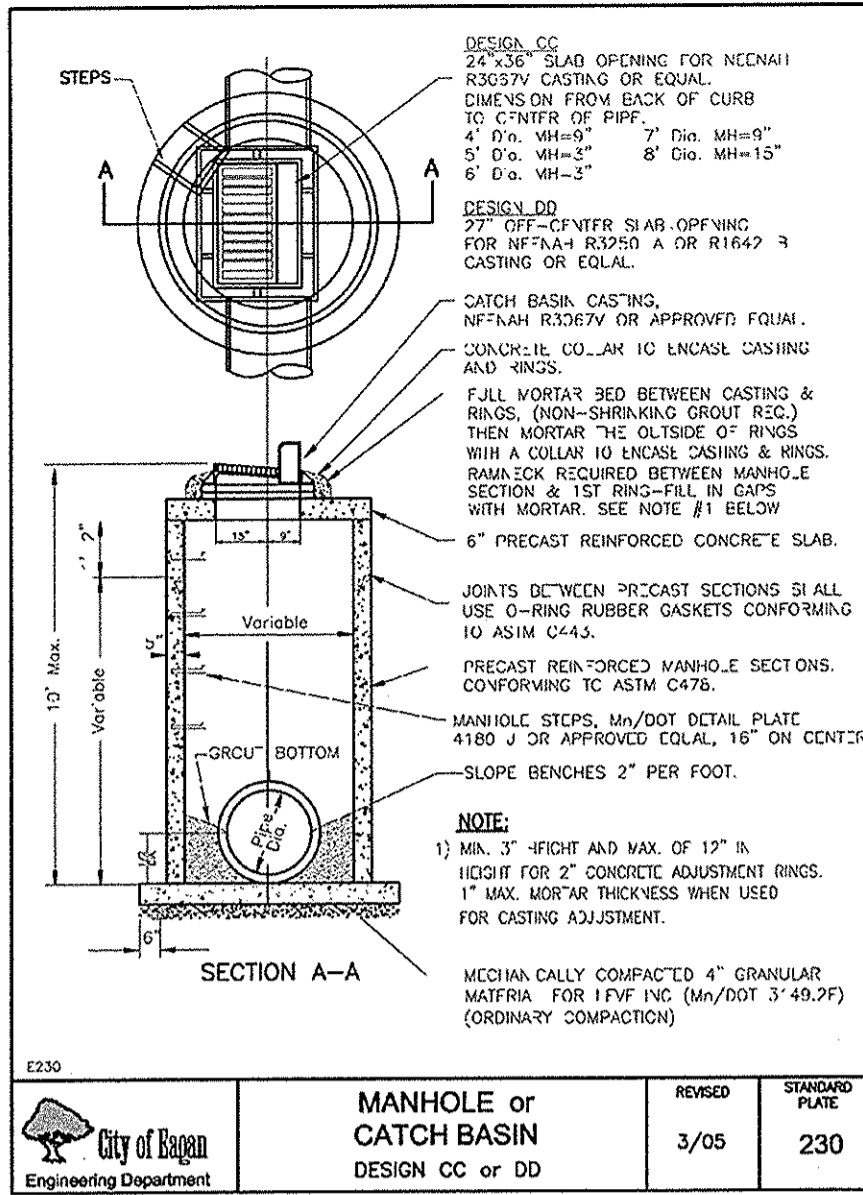
**New Building**  
**TB07 52 Seats**  
**UTILITIES PLAN**

Project: 2011.06.01  
Drawn: BB  
Checked: SD

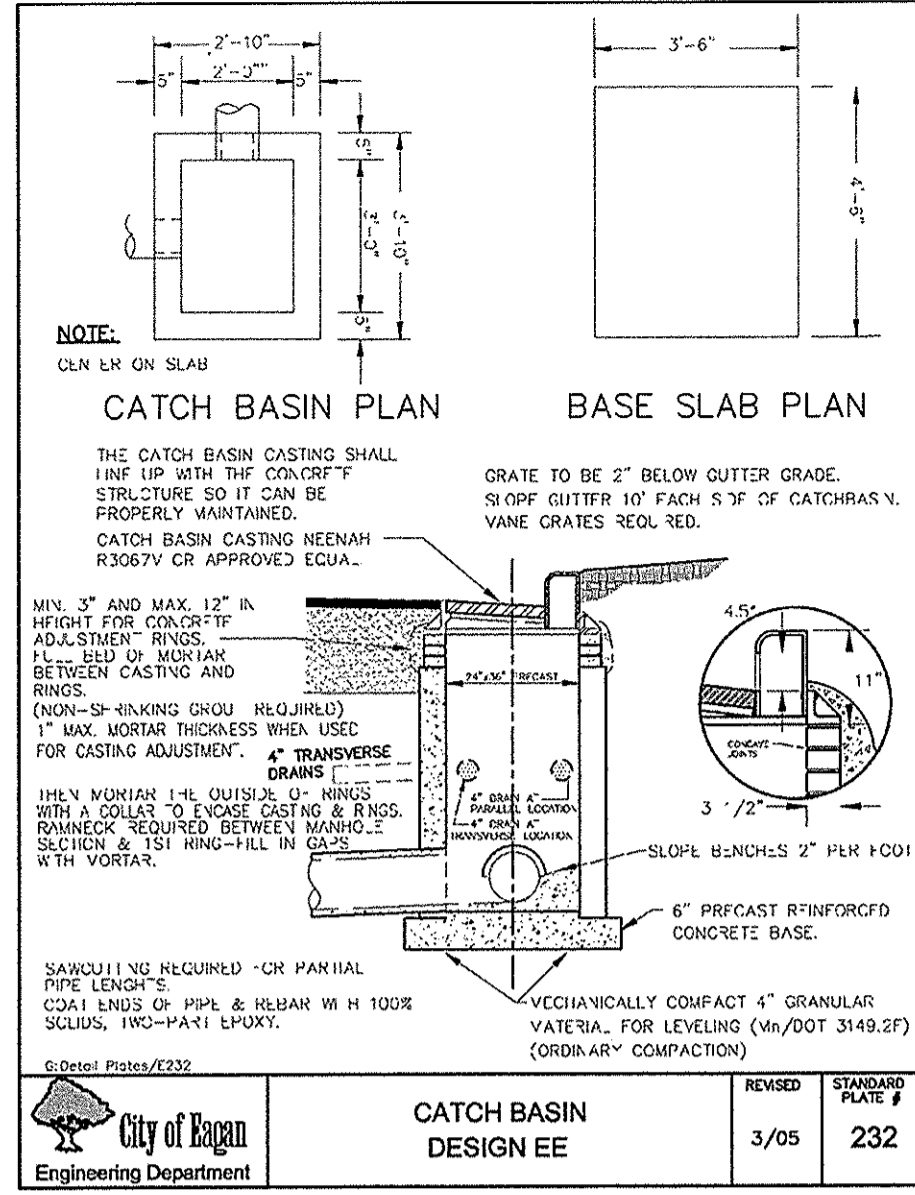
**C5.0**



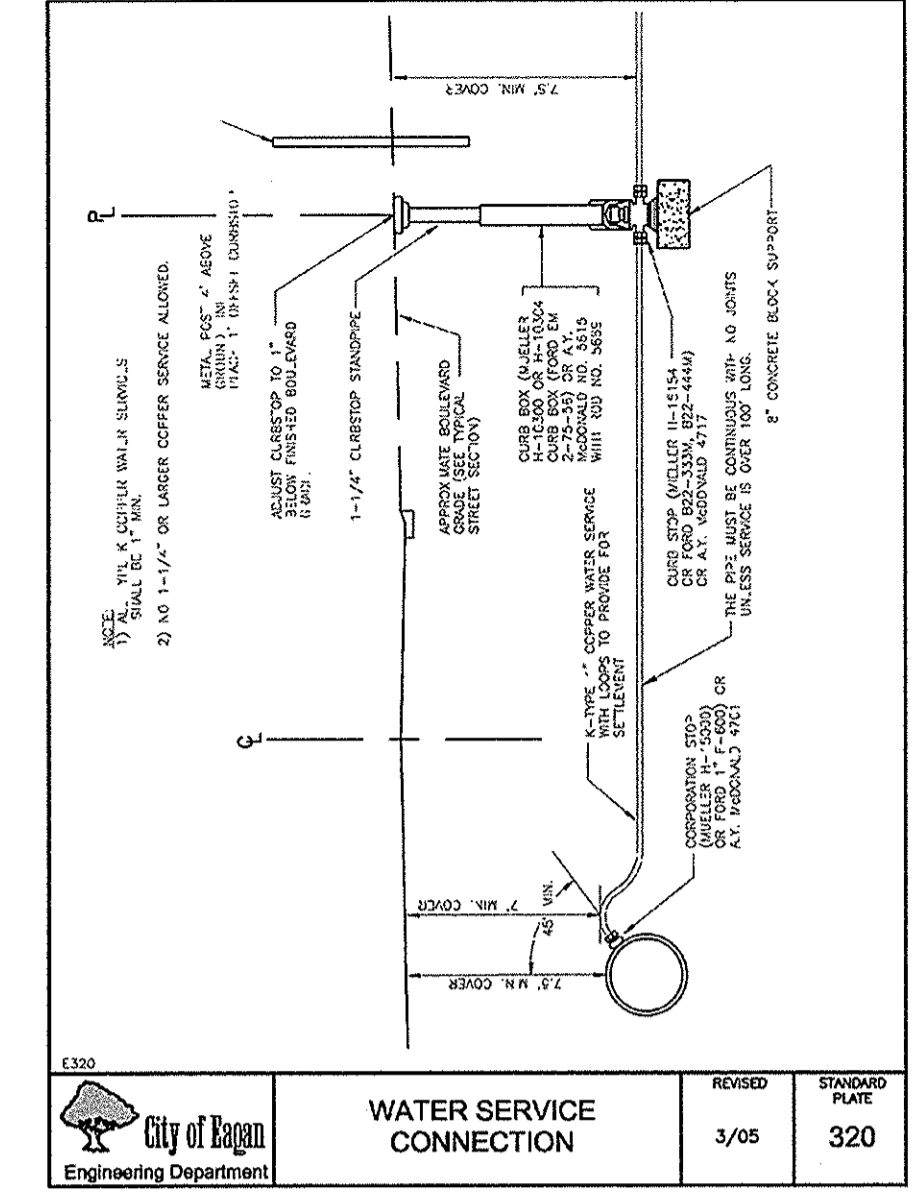
**TYPICAL GATE VALVE AND BOX INSTALLATION**  
 REVISED 3/05  
 STANDARD PLATE # 105



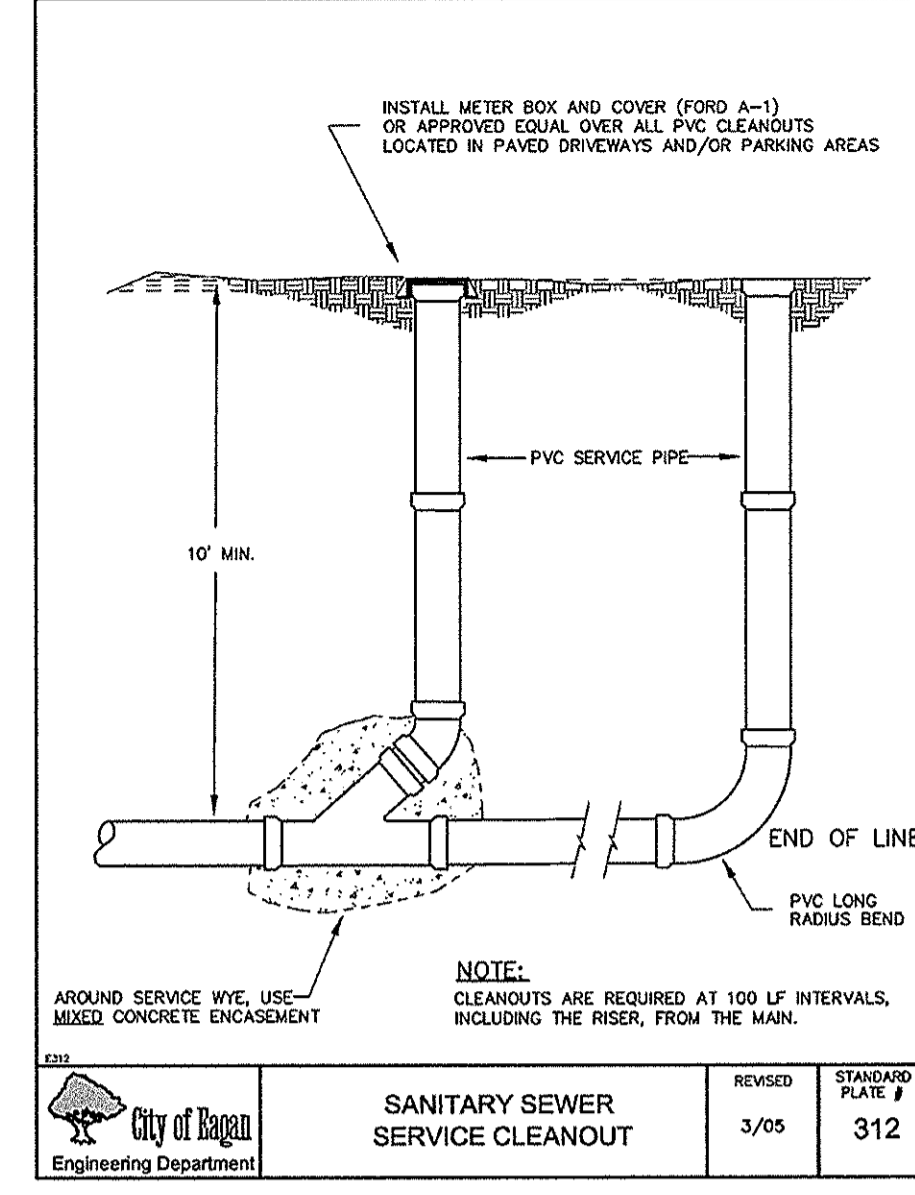
**MANHOLE OR CATCH BASIN DESIGN CC OR DD**  
 REVISED 3/05  
 STANDARD PLATE # 230



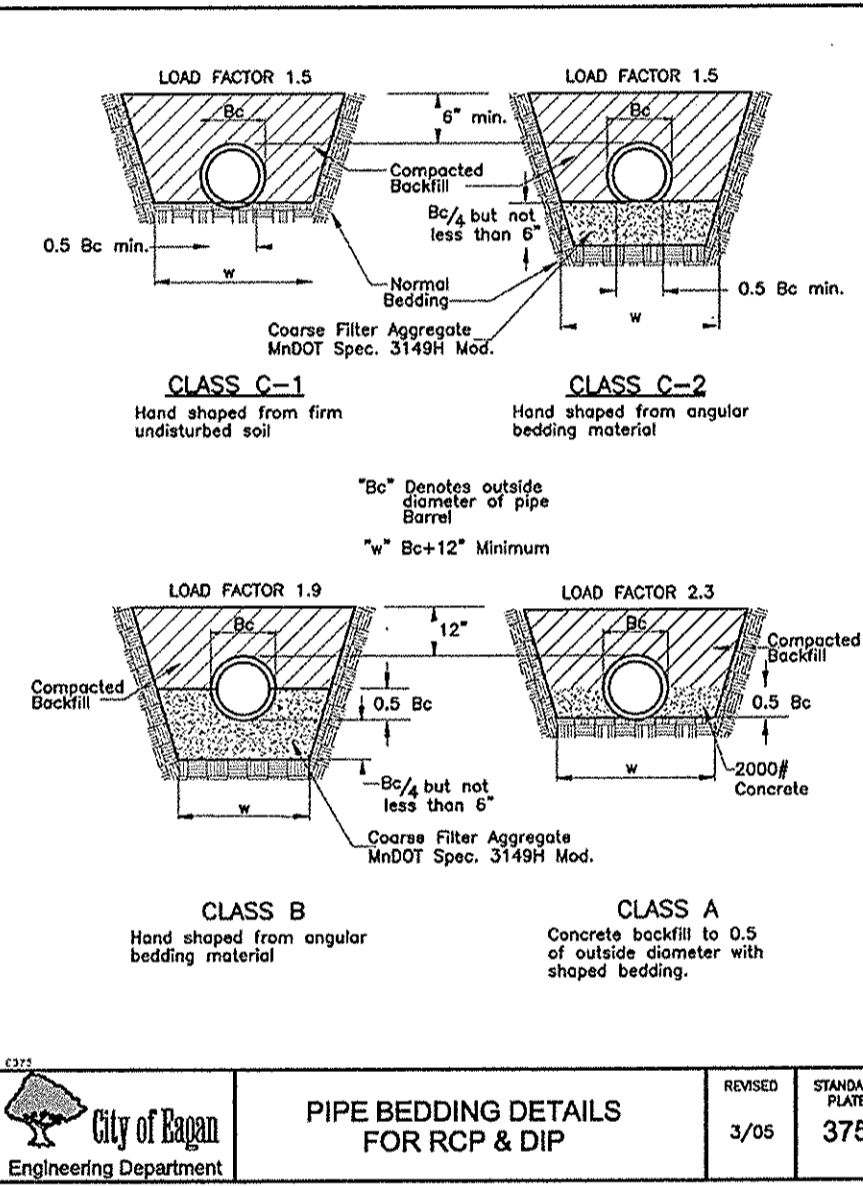
**CATCH BASIN DESIGN EE**  
 REVISED 3/05  
 STANDARD PLATE # 232



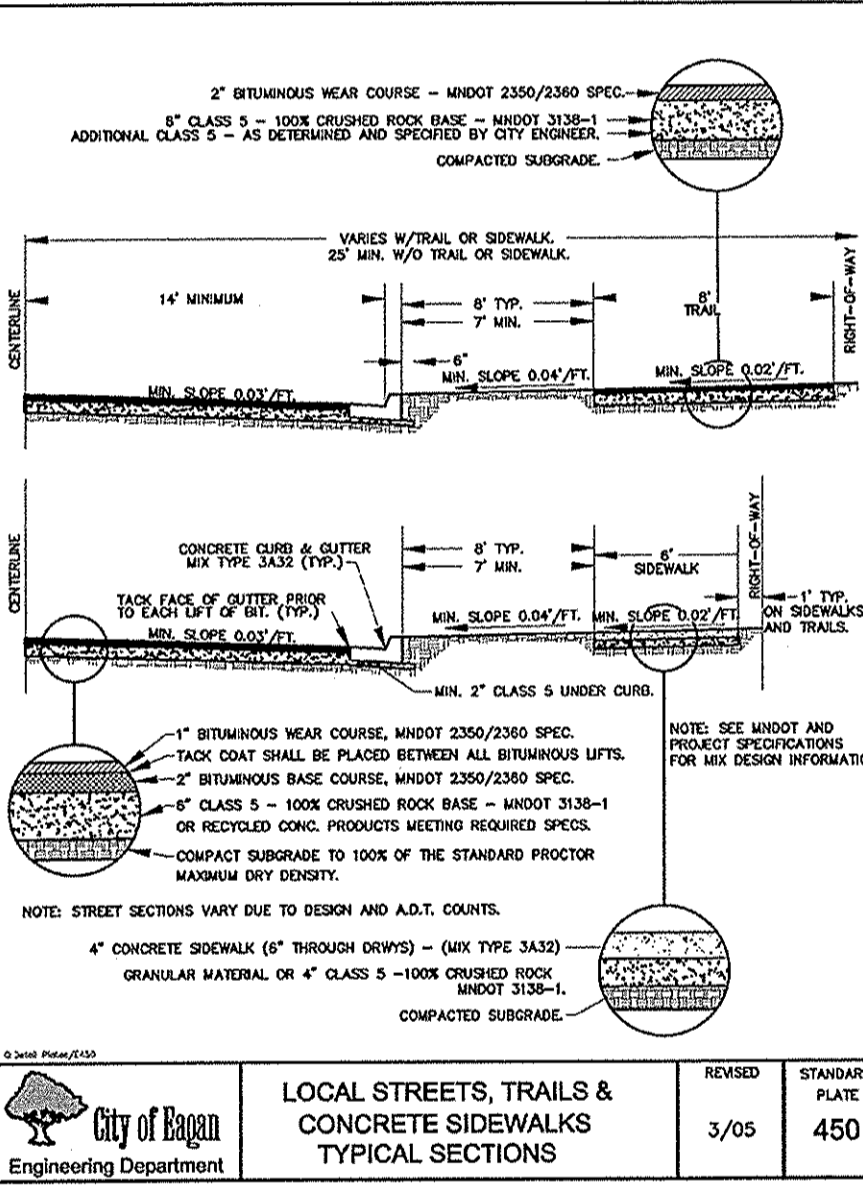
**WATER SERVICE CONNECTION**  
 REVISED 3/05  
 STANDARD PLATE # 320



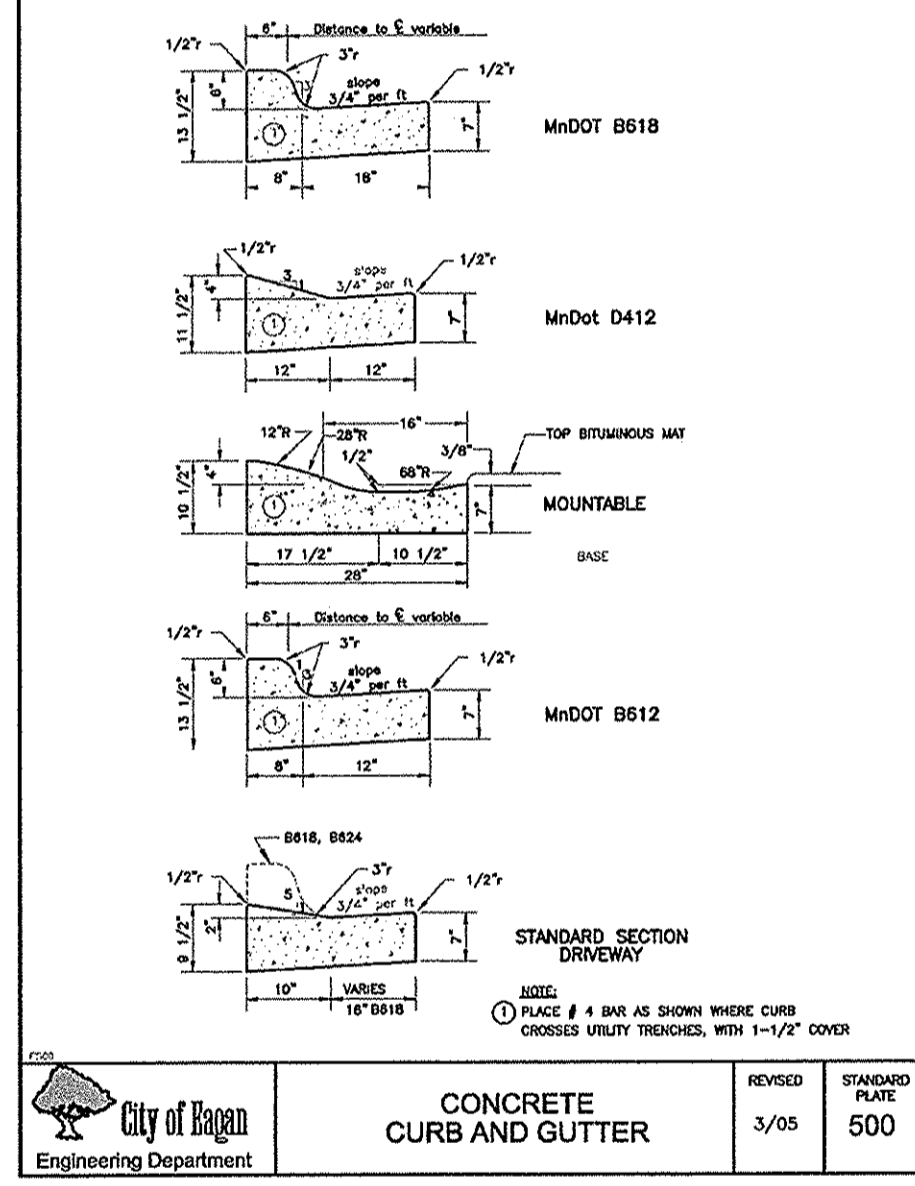
**SANITARY SEWER SERVICE CLEANOUT**  
 REVISED 3/05  
 STANDARD PLATE # 312



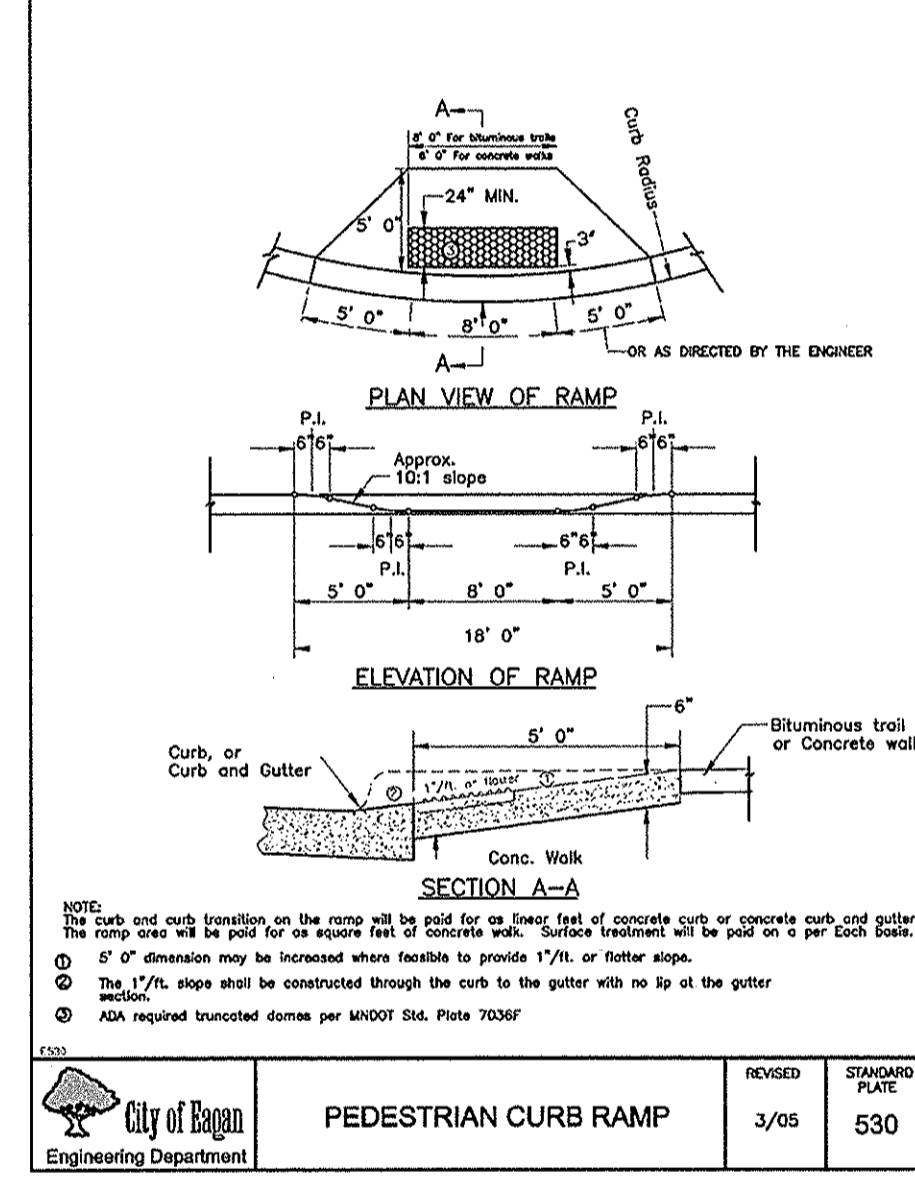
**PIPE BEDDING DETAILS FOR RCP & DIP**  
 REVISED 3/05  
 STANDARD PLATE # 375



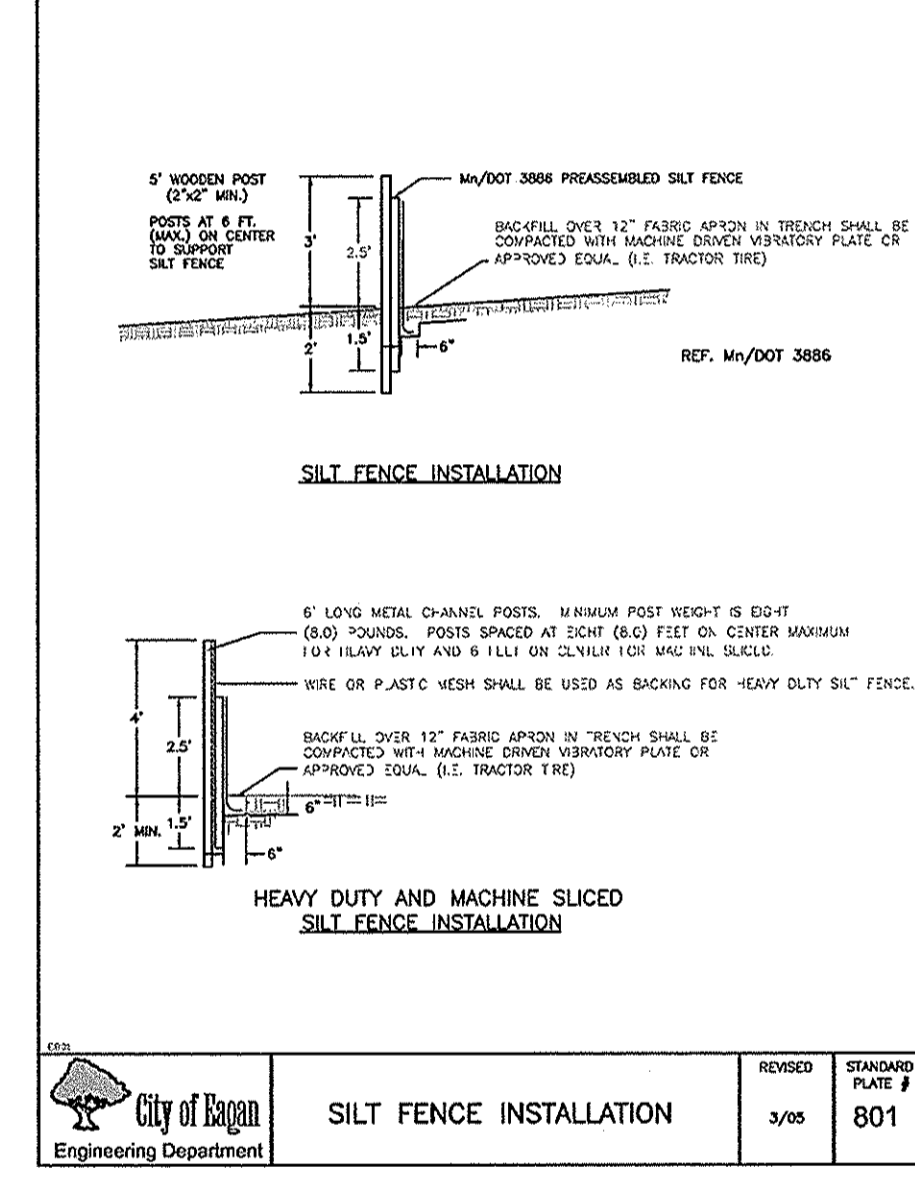
**LOCAL STREETS, TRAILS & CONCRETE SIDEWALKS TYPICAL SECTIONS**  
 REVISED 3/05  
 STANDARD PLATE # 450



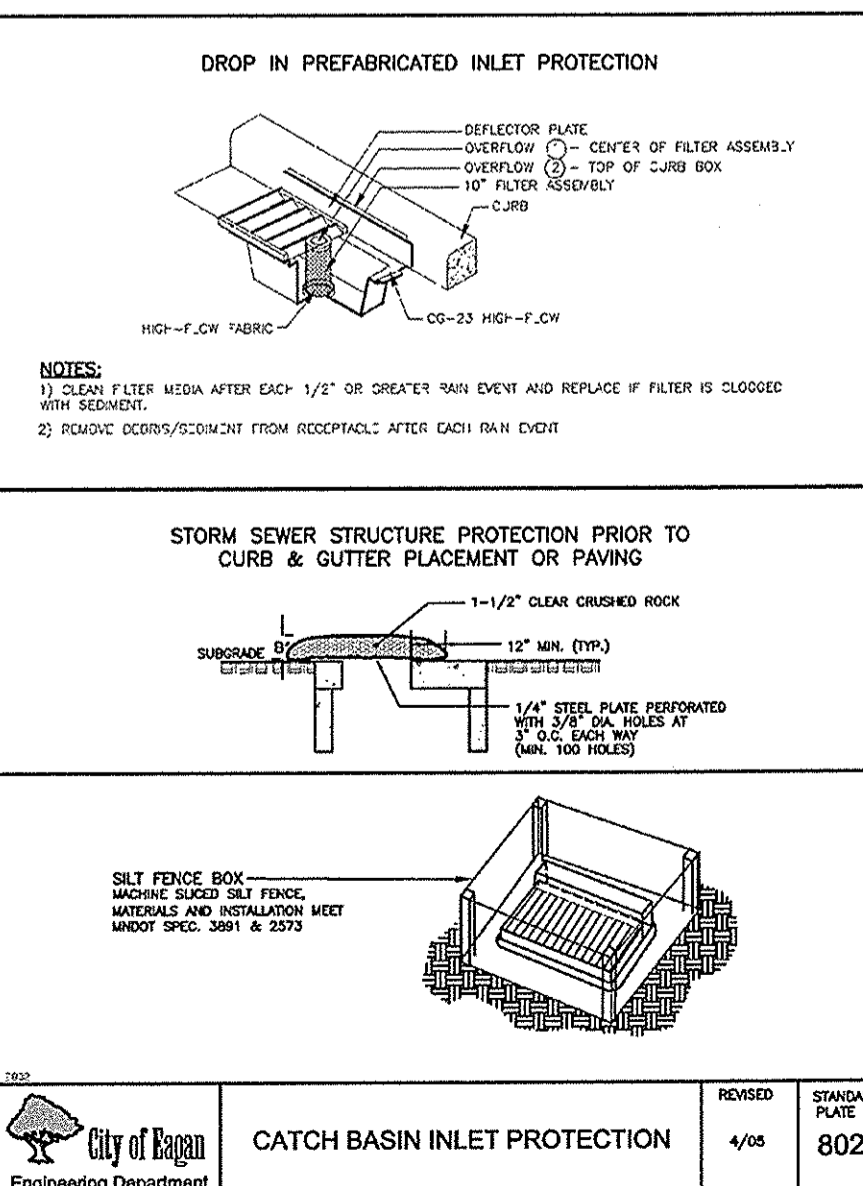
**CONCRETE CURB AND GUTTER**  
 REVISED 3/05  
 STANDARD PLATE # 500



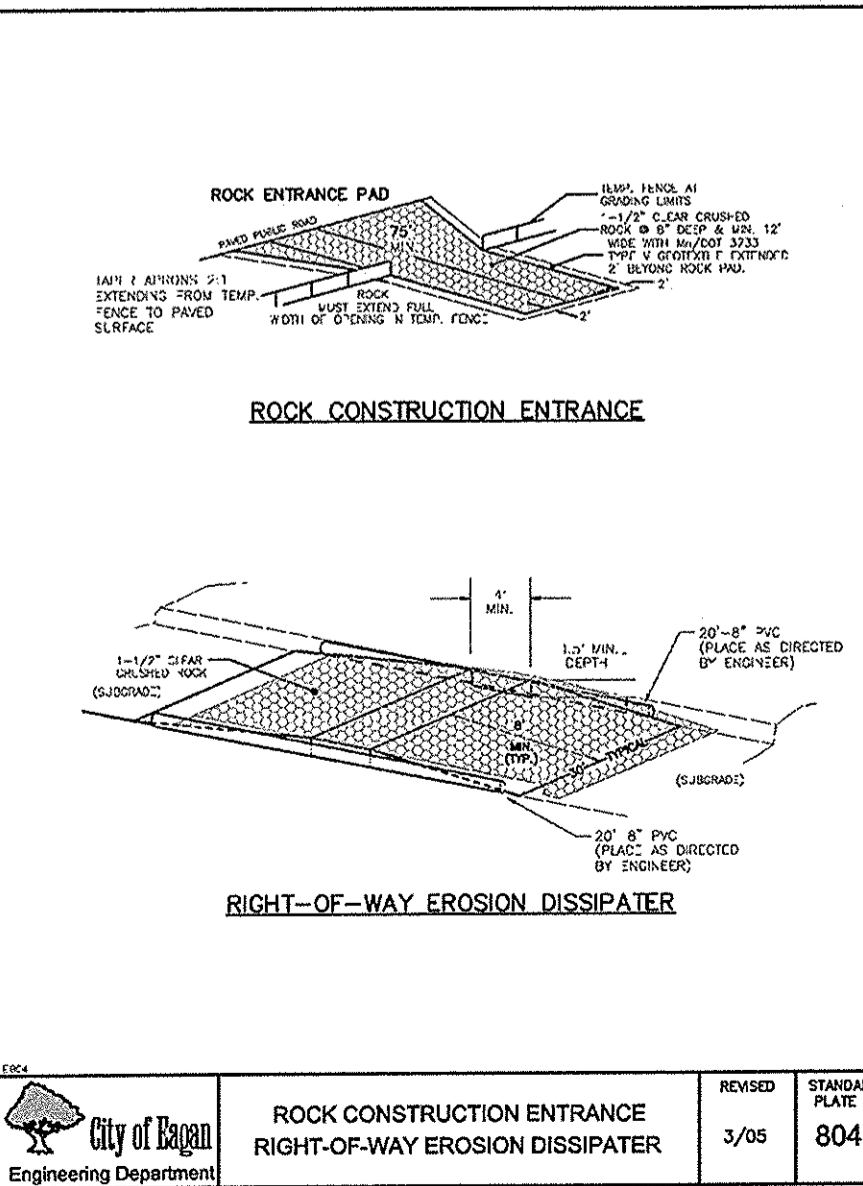
**PEDESTRIAN CURB RAMP**  
 REVISED 3/05  
 STANDARD PLATE # 530



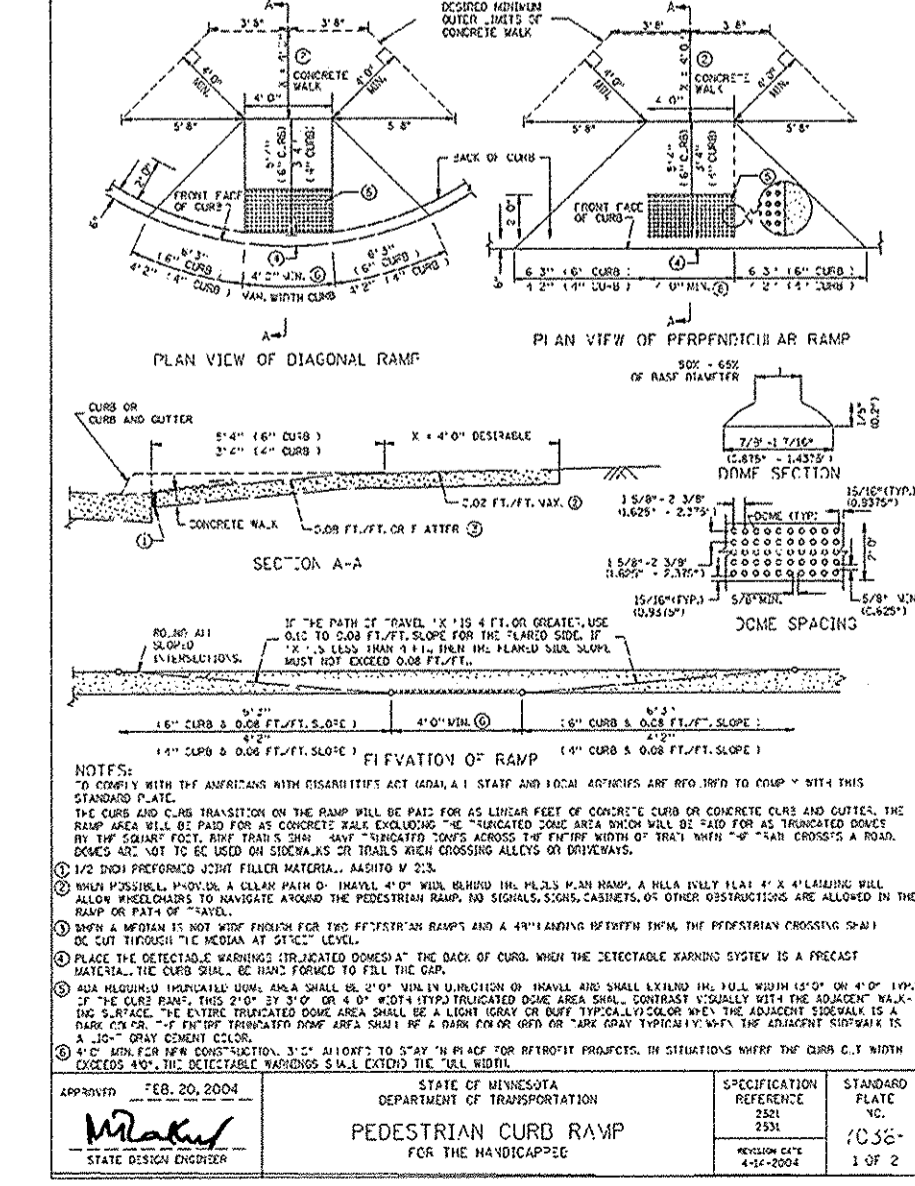
**SILT FENCE INSTALLATION**  
 REVISED 3/05  
 STANDARD PLATE # 801



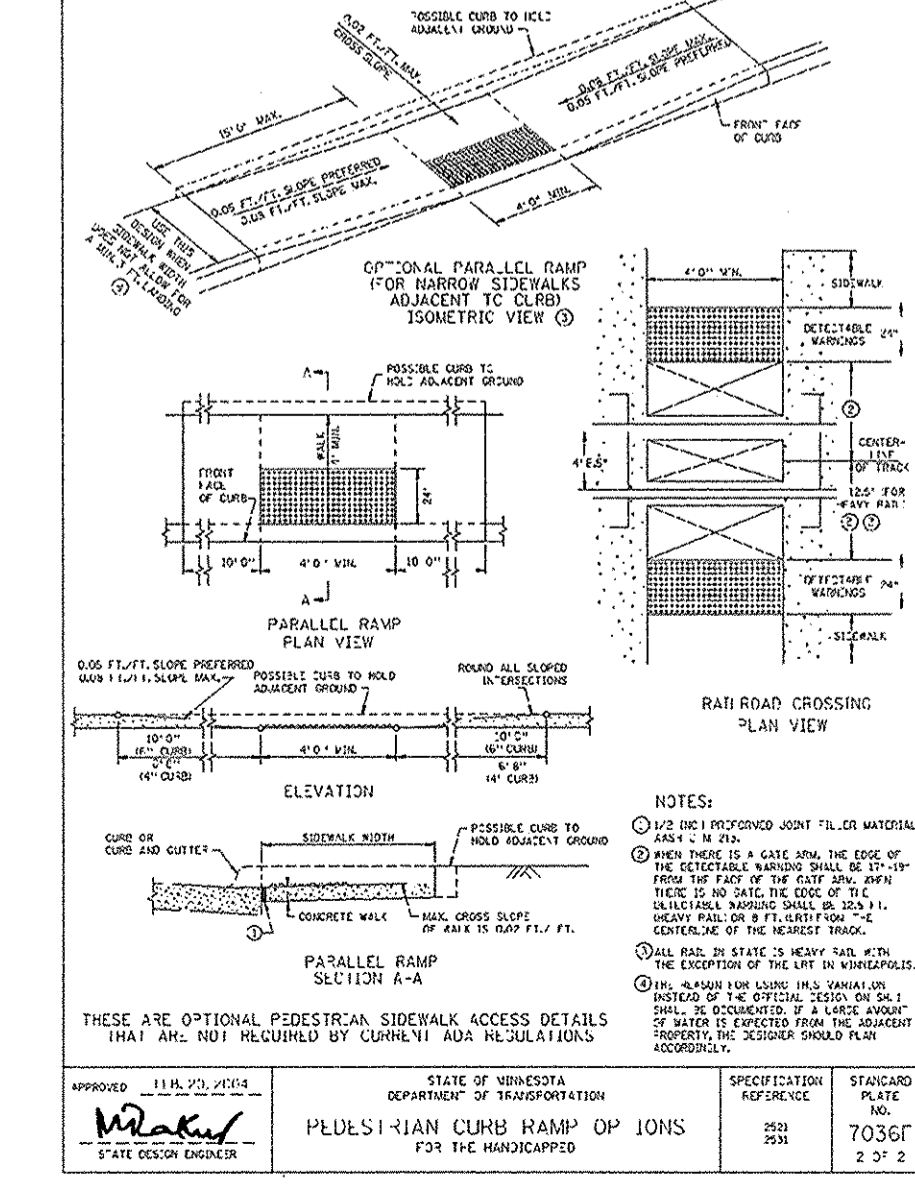
**CATCH BASIN INLET PROTECTION**  
 REVISED 4/05  
 STANDARD PLATE # 802



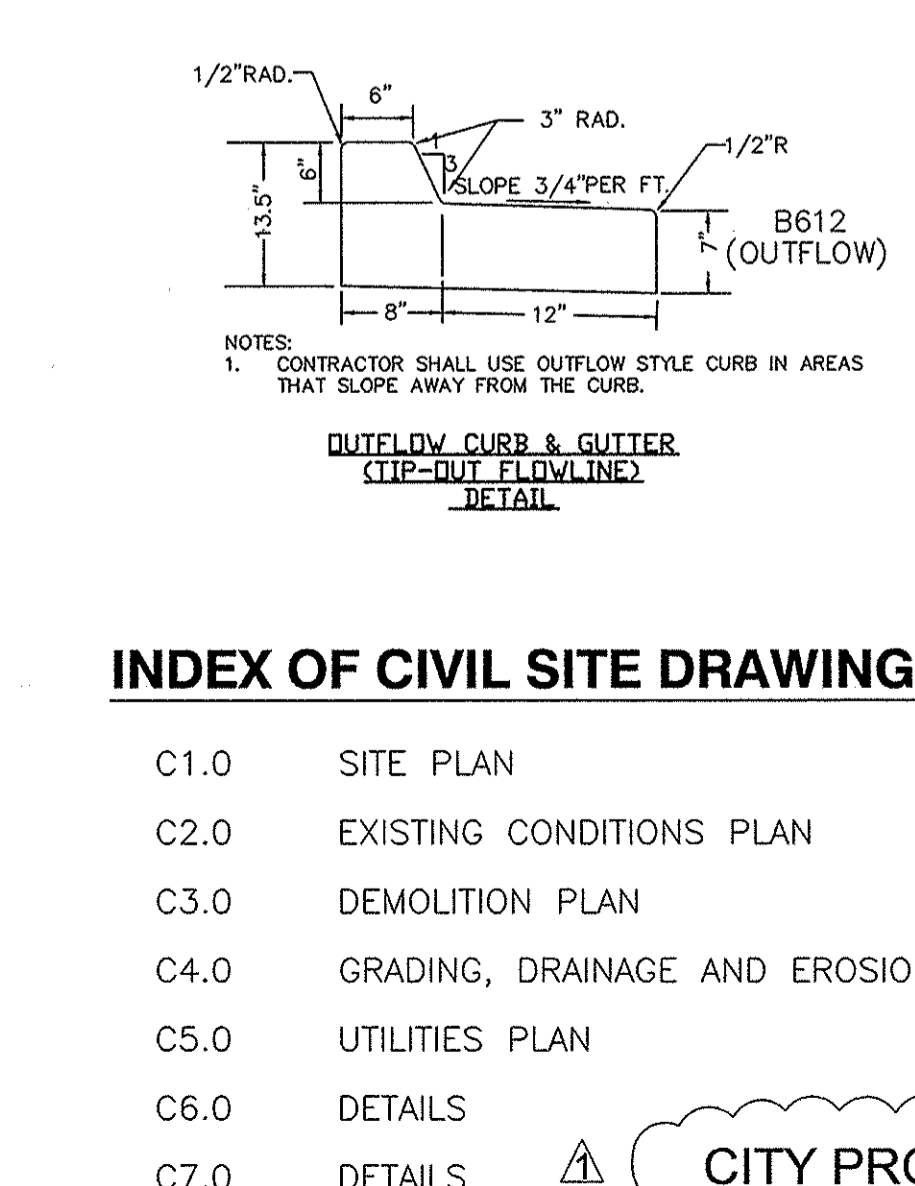
**ROCK CONSTRUCTION ENTRANCE RIGHT-OF-WAY EROSION DISSIPATER**  
 REVISED 3/05  
 STANDARD PLATE # 804



**PEDESTRIAN CURB RAMP**  
 REVISED 11/20/2004  
 STANDARD PLATE # 530



**PARALLEL RAMP**  
 REVISED 11/20/2004  
 STANDARD PLATE # 7036F



**OUTFLOW CURB & GUTTER (CUP-OUT FLOW INF) DETAIL**  
 REVISED 11/20/2004  
 STANDARD PLATE # 7036F

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CITY PROJECT No. 11-BP-C

**WCL Associates, Inc.**  
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 T. 952.541-9969  
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 1325 Town Centre Drive  
 Eagan, MN 55123

Developed by:  
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 965 Decatur Ave North  
 Golden Valley MN 55427  
 Contact: Barb Schneider  
 Phone: 763-489-2970

**QUALITY SITE DESIGN, LLC**  
 Civil Engineering - Land Development  
 3600 Holly Lane N., Suite 100  
 Plymouth, Mn 55447  
 Phone (763) 560-9056  
 Fax (763) 550-9918

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota.

Signature: *Scott Dahlke*  
 Name: Scott Dahlke  
 Registration: 24348  
 Date: 6/10/11

Print History	Date
CUP Submittal	03.16.2011
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**New Building TB07 52 Seats**  
 DETAILS  
 Drawn BB  
 Checked SD  
**C6.0**  
 QSD Project # 00373

